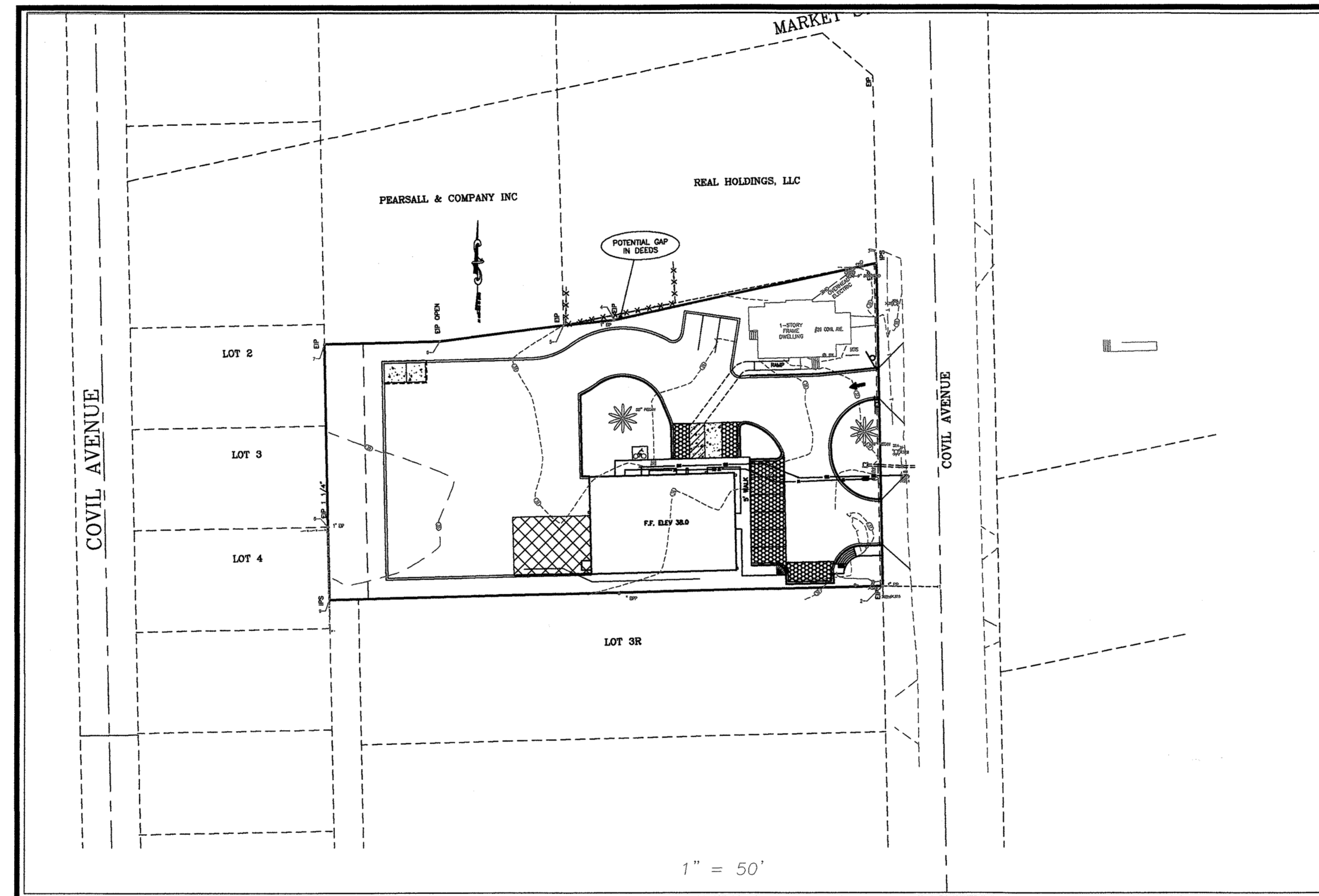
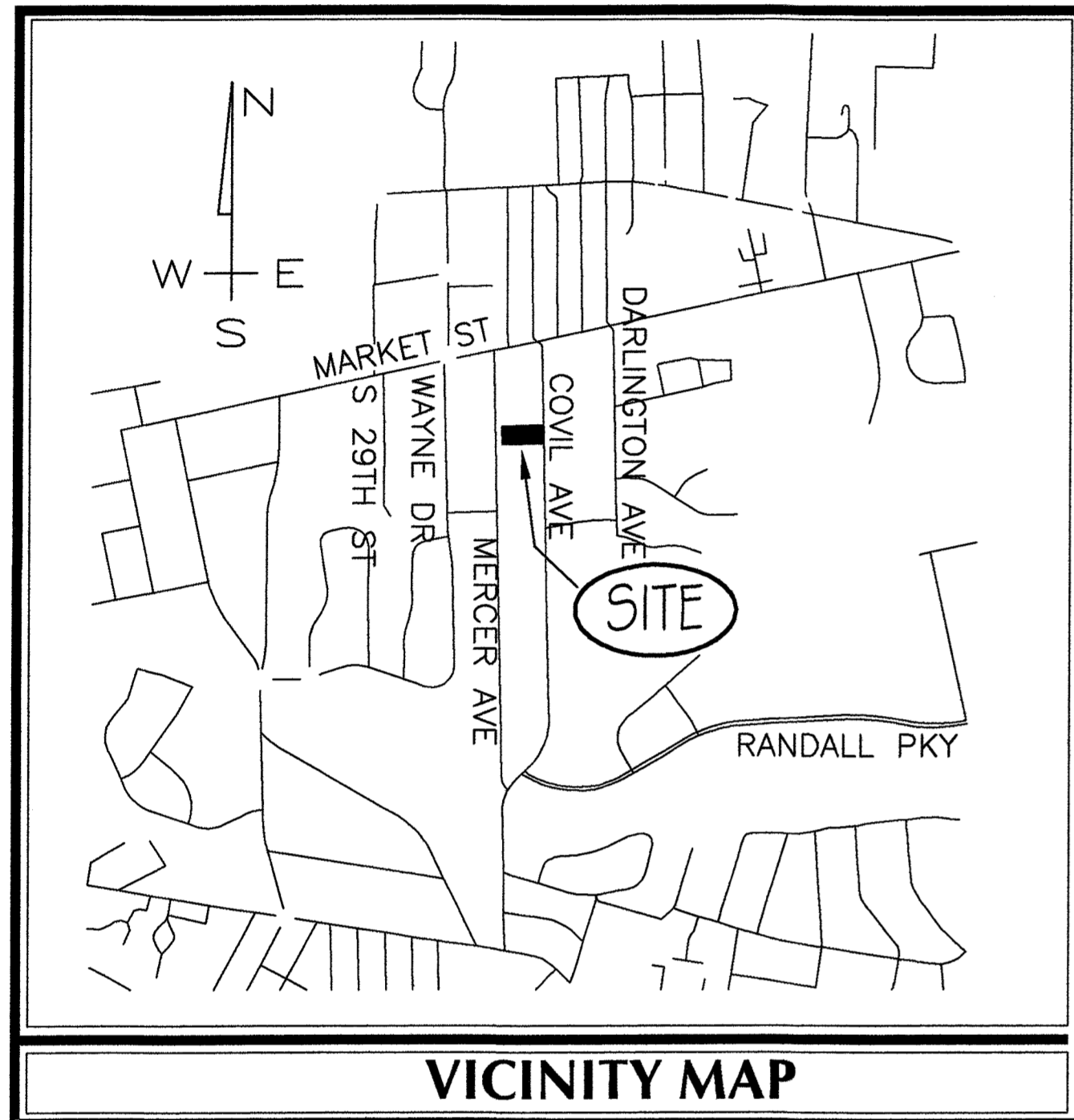


Site Development For OCEAN BLUE POOLS & SPAS

30 COVIL AVENUE
REVISED OCTOBER, 2016
WILMINGTON, NORTH CAROLINA



INDEX OF SHEETS	
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SITE DATA TABLE	
GENERAL NOTES:	
1.	NEW HANOVER COUNTY PARCEL NOS.: PID 04917-003-040-000
2.	TOTAL AREA: 0.94 AC.± EXISTING ZONING: CS
4.	THIS PROPERTY IS NOT A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #3720313700J, EFFECTIVE DATE APRIL 3, 2006.
5.	CAMA LAND CLASSIFICATION: URBAN
DEVELOPMENT DATA:	
TOTAL TRACT AREA = 0.94 ac	
TOTAL DEVELOPMENT AREA = 0.94 ac	
BUILDING COVERAGE - 3,750 SF (9.16%) 1-STORY @ 75' X 50'	
EXISTING BUILDING - 1,337 S.F.	
FRONT SETBACK:	REQ'D 35 FT PROV'D 75.5 FT
REAR SETBACK:	25 FT 135.5 FT
INTERIOR SIDE SETBACK:	7 FT 10 FT
MAX HEIGHT:	35 FT ** FT
TOTAL GROSS FLOOR AREA - 3,750 SF (HEATED)	
HEIGHT OF BLDG - 14' - TO ROOF EDGE 21' - TO TOP OF ROOF	
IMPERVIOUS SURFACES - PROPOSED BUA	
NEW BLDG (941 S.F. WAREHOUSE)	3,750 S.F.
CURB & GUTTER	987 S.F.
HANDICAP PARKING	308 S.F.
CONCRETE PARKING	1,478 S.F.
CANOPY (AT REAR OF BLDG)	1,200 S.F.
EX WALKWAY	90 S.F.
SIDEWALK -	1,003 S.F.
TOTAL -	8,812 S.F. (21.5%)
PERVIOUS GRAVEL AREA - 17,508 SF	
PARKING:	
1 SP/200 SF - MAX (OFFICE & RETAIL)	
1 SP/400 SF - MIN. (RETAIL - 2,750 SF)	
1/SP/300 SF - MIN. (OFFICE - 1,337 SF)	
1/SP/1000 SF - (WAREHOUSE - 1,000 SF)	
MAX ALLOWED: 22	
MINIMUM ALLOWED: 12	
2,750 SF/400 = 6.9 SPACE	
1,337 SF/300 = 4.5 SPACE	
1,000 SF/1000 = 1 SPACE	
TOTAL = 12.4 ~ 12 SPACES (MINIMUM)	
4,087 SF/200 = 20.4 SPACE	
1,000 SF/1000 = 1 SPACE	
TOTAL = 21.4 ~ 21 SPACES (MAXIMUM)	
PROVIDED: 11 SPACES WITH 1 HC FOR TOTAL OF 12 SPACES	
1 HC - REQ'D	
1 HC - PROV'D	
1 - 5 SPACE BIKE RACK IS PROVIDED	
UTILITY CAPACITY REQUESTS:	
PROPOSED SEWER CAPACITY:	4 EMPLOYEES @ 25 GPD = 100 GPD
PROPOSED WATER CAPACITY:	4 EMPLOYEES @ 25 GPD = 100 GPD
BUILDING MATERIALS:	
METAL PANELS ON BACK, LEFT AND RIGHT SIDE	
BRICK VENEER ON FRONT SIDE	
BUILDING CONSTRUCTION: TYPE II-B	
TRASH: DUMPSTER AT REAR OF SITE	
NOTE: ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH CITY OF WILMINGTON & THE STATE OF NORTH CAROLINA	

LEGEND		
DESCRIPTION	EXISTING	PROPOSED
PROPERTY BOUNDARY	———	———
EASEMENT	———	———
STREAM	———	———
STRUCTURE	———	———
MINOR CONTOURS	-----8-----	-----8-----
MAJOR CONTOURS	-----10-----	-----10-----
GAS LINE	---G---G---	---G---G---
OVERHEAD POWER	---OHP---OHP---	---OHP---OHP---
WATER LINE	---W---W---	---W---W---
SANITARY SEWER LINE	---SS---SS---	---SS---SS---
SANITARY SEWER MANHOLE	⊙	⊙
STORM DRAINAGE PIPE	———	———
STORM DRAINAGE STRUCTURE	○ □	● ■
TREE	1" OAK ●	⊕ ⊙ ⊗
CONCRETE	▨	▨
SILT FENCE	—SF—SF—	—SF—SF—
TREE PROTECTION FENCE	—TP—TP—	—TP—TP—
FIRE HYDRANT ASSEMBLY	⊕	⊕
TOP OF CURB GRADE	———	——— x 37.50 TC
SPOT GRADE	———	——— x 37.50

OWNER
OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405
TEL: 910-799-3022

PORT CITY CONSULTING ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit # 2016005R1
Signed: *[Signature]*

Approved Construction Plan
Name: *[Signature]* Date: 1/27/17
Planning: *[Signature]*
Traffic: *[Signature]*
Fire: *[Signature]*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



RECEIVED
JAN 25 2017
PLANNING DIVISION

COORDINATION NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WILMINGTON AND THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFLUA).
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

GENERAL NOTES:

1. EXISTING TOPOGRAPHY HAVE BEEN PREPARED BY FIELD SURVEY BY BASE LINE SURVEYING, PLLC. BOUNDARY SURVEY PREPARED BY DANFORD & ASSOCIATES LAND SURVEYORS, P.C.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC..
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. CONTRACTOR SHALL REMOVE ASPHALT, AGGREGATE BASE COURSE, AND CONCRETE CURB & GUTTER WITHIN LIMITS OF DEMOLITION AS SHOWN ON PLAN.

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION
7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

1. CLEAR AND REMOVE FROM SITE ALL TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN DESIGNATED CLEARING LIMITS.
2. PLANT GRASS OVER ALL GRADED AREAS AS SHOWN IN THE TABLE ON THIS SHEET OF CEASE OF ANY GRADING ACTIVITY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES
4. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY NEW HANOVER COUNTY.
5. WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED AND PLANTED AREAS UNTIL FINAL APPROVAL BY NEW HANOVER COUNTY.
6. ANY BORROW MATERIAL BROUGHT ONTO SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.
7. ANY EXCESS MATERIAL REMOVED FROM SITE MUST BE HAULED TO A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 8 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.

PERMANENT SEEDING SCHEDULE

Seeding Mixture
 SPECIES RATE (LB/ACRE)
 CAROLINA COASTAL SEED MIX (BLEND) 200

Seeding Dates
 MARCH - JUNE

Soil Amendments
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.
 CHECK WITH OWNER PRIOR TO APPLYING. ALL CHEMICALS MUST BE PREAPPROVED BY GE.

Mulch
 DO NOT MULCH.

Maintenance By Owner
 FERTILIZE VERY SPARINGLY LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING--LATE WINTER/EARLY SPRING

Seeding Mixture
WINTER AND EARLY SPRING

SPECIES RATE (LB/ACRE)
 Rye (GRAIN) 120
 ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)
 OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE.

SUMMER

SPECIES RATE (LB/ACRE)
 GERMAN MILLET 40

FALL

SPECIES RATE (LB/ACRE)
 RYE (GRAIN) 120

Seeding dates
 COASTAL PLAIN - DEC.1-APR. 15 - LATE WINTER AND EARLY SPRING
 APRIL 15 - AUG. 15 - SUMMER
 AUG. 15 - DEC. 30 - FALL

Soil amendments
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Mulch
 APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

Maintenance
 REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NPDES WATER QUALITY STABILIZATION TIMEFRAMES

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES & SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50'
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETER AND HQW ZONES

GENERAL GRADING NOTES

1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF SUCH UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF THE DITCHING OPERATION BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF THE TRENCHING OPERATIONS SO AS TO AVOID AND PREVENT DAMAGE TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING BUT NOT LIMITED TO REPAIRS AND LOSS SERVICE REVENUE. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC..
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE NCDOT.
4. ALL MATERIAL CLEARED AND GRUBBED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK, SUCH AS TREES, VEGETATION, FENCING, ETC... SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE PROPERLY DISPOSED OF OFF-SITE OR BURNED IF PROPER PERMITS ARE RECEIVED.

SITE NOTES

1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
9. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL* TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
11. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL CODES.
13. FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
14. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
16. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

EXISTING UTILITY NOTES

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

UTILITY CONTACTS:

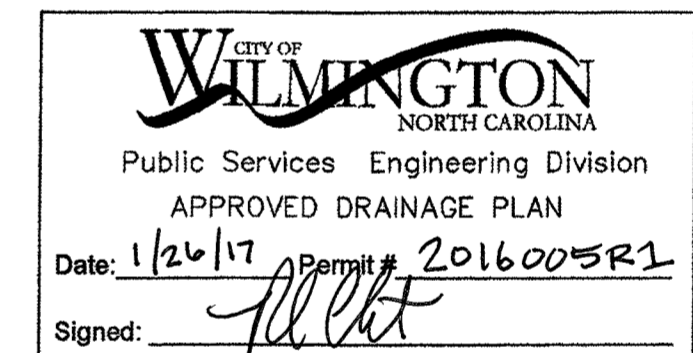
1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING AND DIGGING. 1-800-632-4949

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 1-800-632-4949

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE



Approved Construction Plan	
Name	Date
Planning	1/22/17
Traffic	1/26/17
Fire	1/26/17

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By

Designer	MNH	Scale	AS SHOWN
Drawn By	MNH	Date	OCTOBER, 2015
Checked By	MNH	Job No.	

OCEAN BLUE POOLS & SPAS
 WILMINGTON NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
 30 COVIL AVENUE
 WILMINGTON, NC 28405

PORT CITY CONSULTING
 ENGINEERS, PLLC
 6216 STONEBRIDGE ROAD
 WILMINGTON, NC 28409
 910-599-1744 LICENSE No. P-1032

GENERAL NOTES

Sheet No.
C-1

COVIL AVENUE

60' PUBLIC R/W

LOT 2
BLOCK 2
EAST MERCER PLACE
MB 3 PG 56
R04917-003-002-000
DB 5183 PG 2568
R-15 ZONING
(RESIDENTIAL)

LOT 3
BLOCK 2
EAST MERCER PLACE
MB 3 PG 56
R04917-003-003-000
DB 5183 PG 2568
R-15 ZONING
(RESIDENTIAL)

LOT 4
BLOCK 2
EAST MERCER PLACE
MB 3 PG 56
R04917-003-004-000
DB 5319 PG 2285
R-15 ZONING
(RESIDENTIAL)

PEARSALL & COMPANY INC
R04917-003-001-000
DB 1198 PG 1807
CB ZONING
(COMMERCIAL)

REAL HOLDINGS, LLC
R04913-012-001-000
DB 5241 PG 1420
CS ZONING
(COMMERCIAL)

LOT 3R
J.R. COVIL SUBDIVISION
MB 60 PG 164
SHEALLY INSURANCE
GROUP, LLC
DB 5282 PG 473
CS ZONING
(COMMERCIAL)

R04917-004-001-000
LARRY & REBECCA HILL
DB 2069 PG 0066
CS ZONING
(AUTO REPAIR)

R04917-004-004-000
MICHAEL S. BOCHAY
DB 1449 PG 1189
CS ZONING
(RESIDENTIAL)

UN-NAMED PRIVATE ALLEY 15' WIDE (NOT IMPROVED)
NO RIGHTS OF ACCESS FOR R04917-003-000-000 FOUND.

R/W PER MAPS,
DEEDS AND IRON PIPES FOUND.

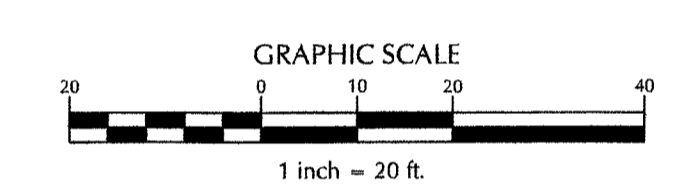
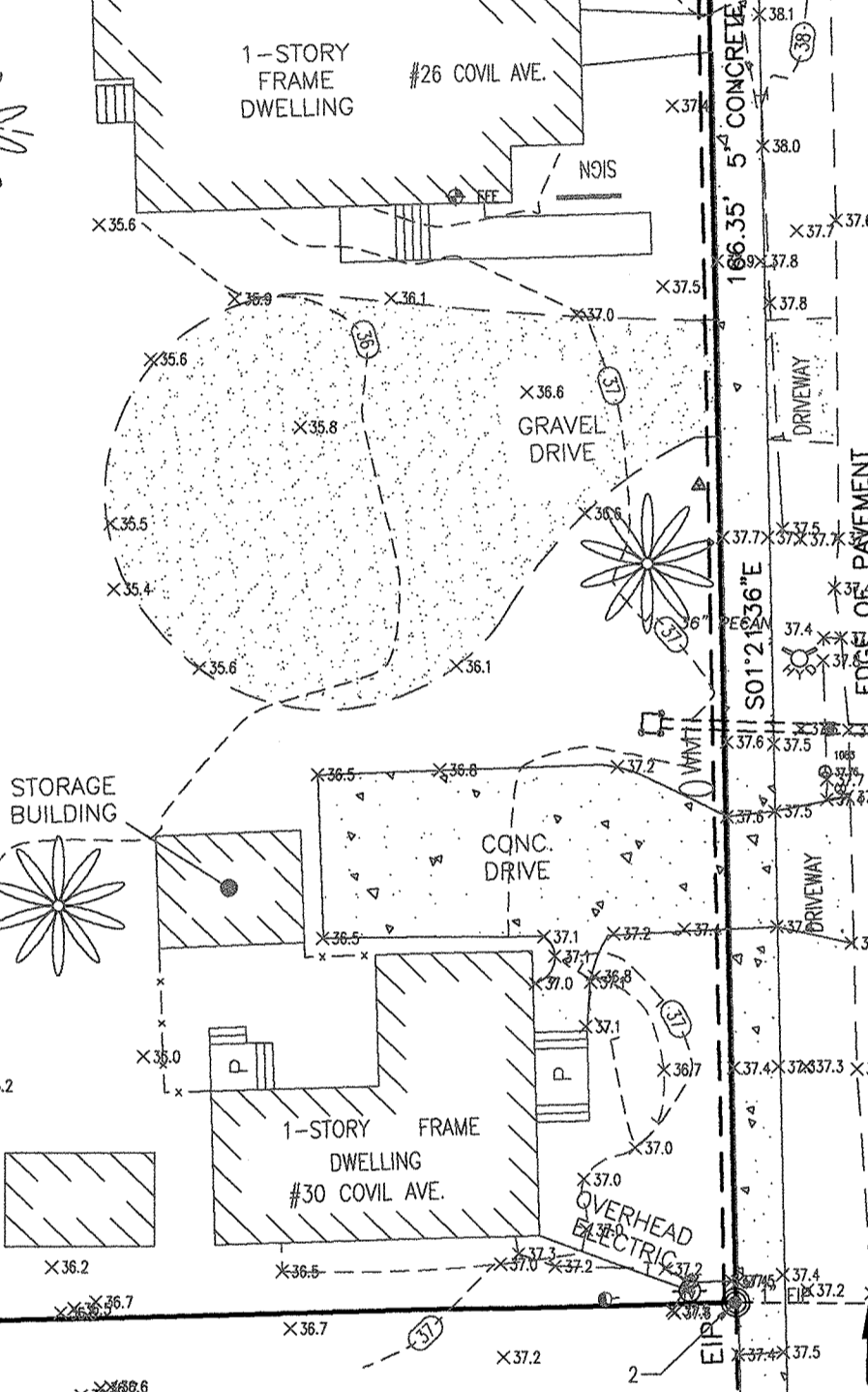
COVIL AVENUE

MONUMENT NOT
IN R/W CENTERLINE

WIDTH OF R/W VARIES
PER VARIOUS MAPS,
DEEDS AND IRON PIPES FOUND.
PURPORTED TO BE 60' WIDE.

POTENTIAL GAP
IN DEEDS

WOOD FENCE THIS
SIDE OF LINE 0.3'



WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit: 20160052-1
Signed: [Signature]

Approved Construction Plan

Name	Date
Planning: [Signature]	1/27/17
Traffic: [Signature]	1/28/17
Fire: [Signature]	1/24/17

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.



No.	Revision	Date	By	Designer	Scale
				MNH	AS SHOWN
				MNH	OCTOBER, 2015
				MNH	

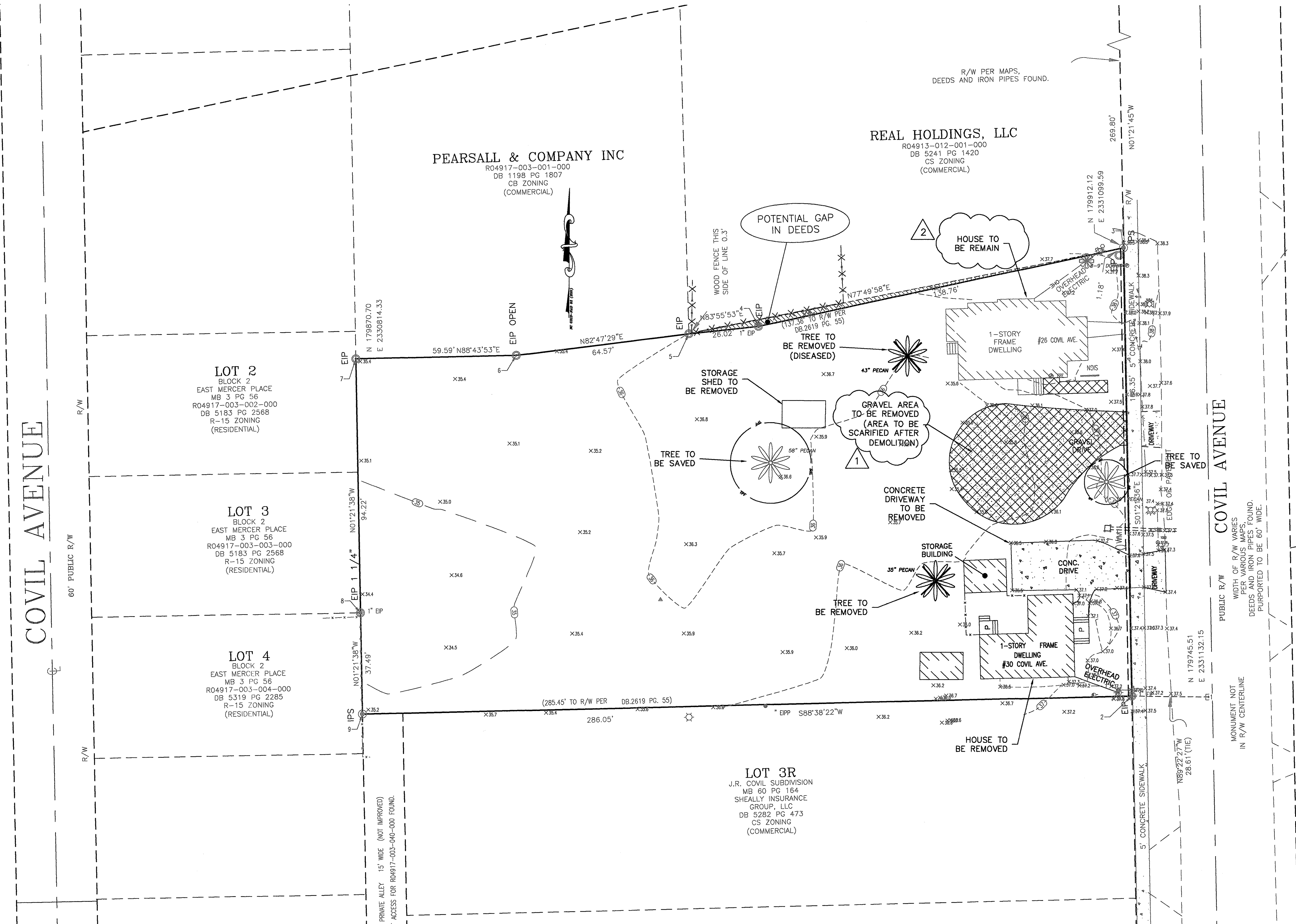
OCEAN BLUE POOLS & SPAS
NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405

PORT CITY CONSULTING
ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

EXISTING CONDITIONS

Sheet No.
C-2



NOTES:

PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.

NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.

ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.

CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING AND DIGGING, CLEARING, OR GRADING.

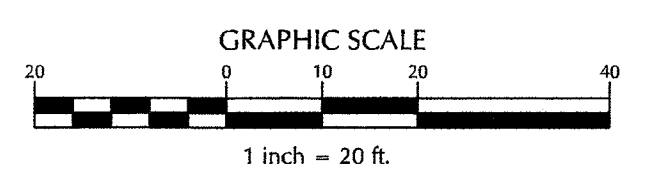
ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS

ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE

A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS.

A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC DIVISION AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING THE FINAL PLAT.

CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.



CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit # 2016005R1
Signed: [Signature]

Approved Construction Plan

Name	Date
Planning: [Signature]	1/27/17
Traffic: [Signature]	1/26/17
Fire: [Signature]	1/26/17

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By
1	REVISED PER CITY STORMWATER COMMENTS	1/19/16	MNH
2	KEEPING NORTHERN HOUSE	10/26/16	MNH

Designer: MNH Scale: AS SHOWN
 Drawn By: MNH Date: OCTOBER, 2015
 Checked By: MNH Job No.

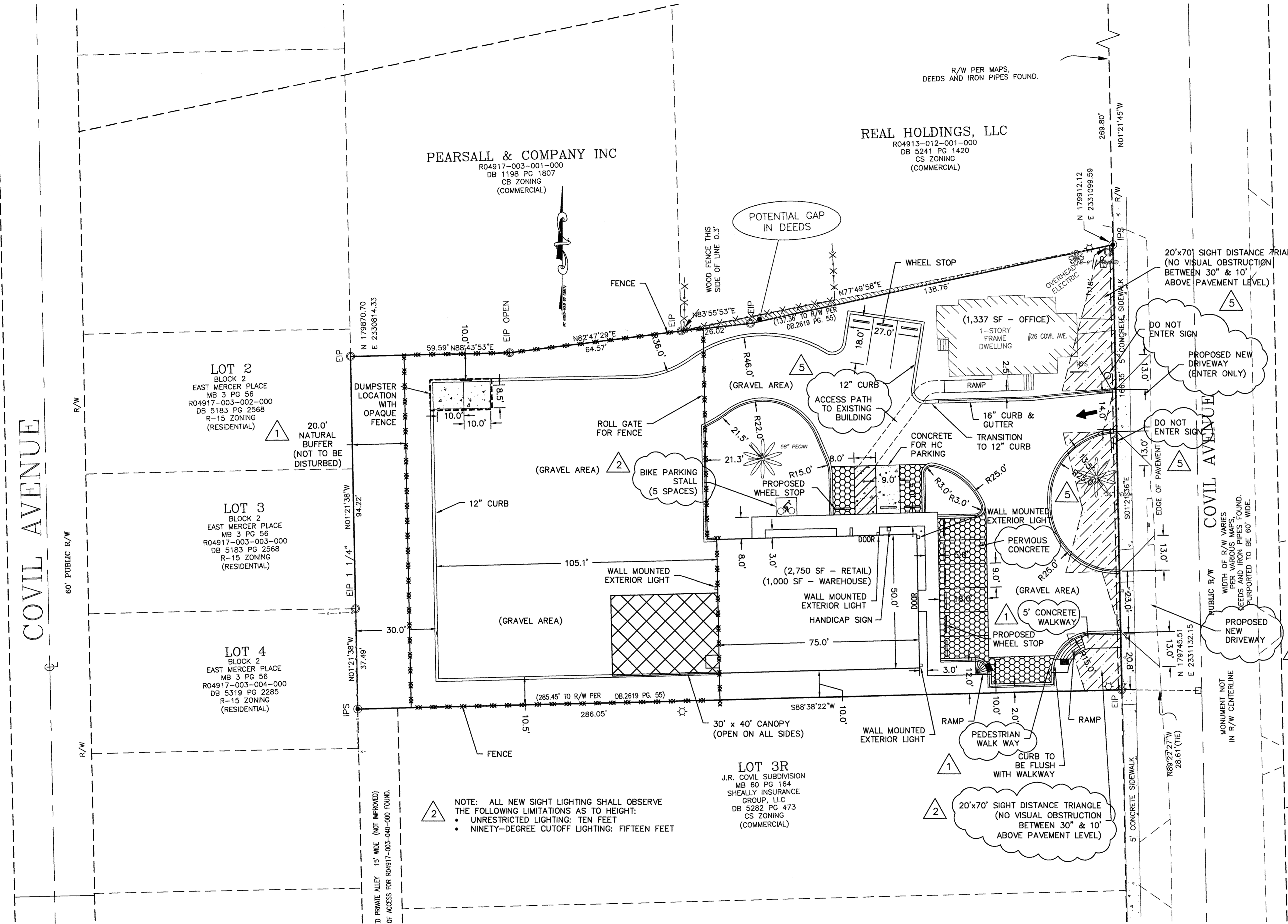
OCEAN BLUE POOLS & SPAS
NORTH CAROLINA
WILMINGTON

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28409

PORT CITY CONSULTING
ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

DEMOLITION PLAN

Sheet No. C-3



NOTES:

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NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.

ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.

TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS

ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.

CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING AND DIGGING, CLEARING, OR GRADING.

CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY

ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE

A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS.

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TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS

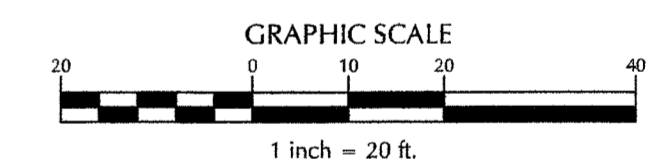
WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS

PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION

IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX

CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION

NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE



CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit: 2016005R1
Signed: [Signature]

Approved Construction Plan

Name	Date
Planning: [Signature]	1/27/17
Traffic: [Signature]	1/26/17
Fire: [Signature]	1/24/17



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

6 REVISED PER CITY COMMENTS 1/10/17 MNH

No.	Revision	Date	By
1	REVISED PER CITY COMMENTS	12/2/15	MNH
2	REVISED PER CITY COMMENTS	12/30/15	MNH
3	REVISED PER CITY STORMWATER COMMENTS	1/19/16	MNH
4	REVISED PER NEW HANOVER COUNTY	2/12/16	MNH
5	ADDED NEW DRIVEWAY & PARKING	10/26/16	MNH

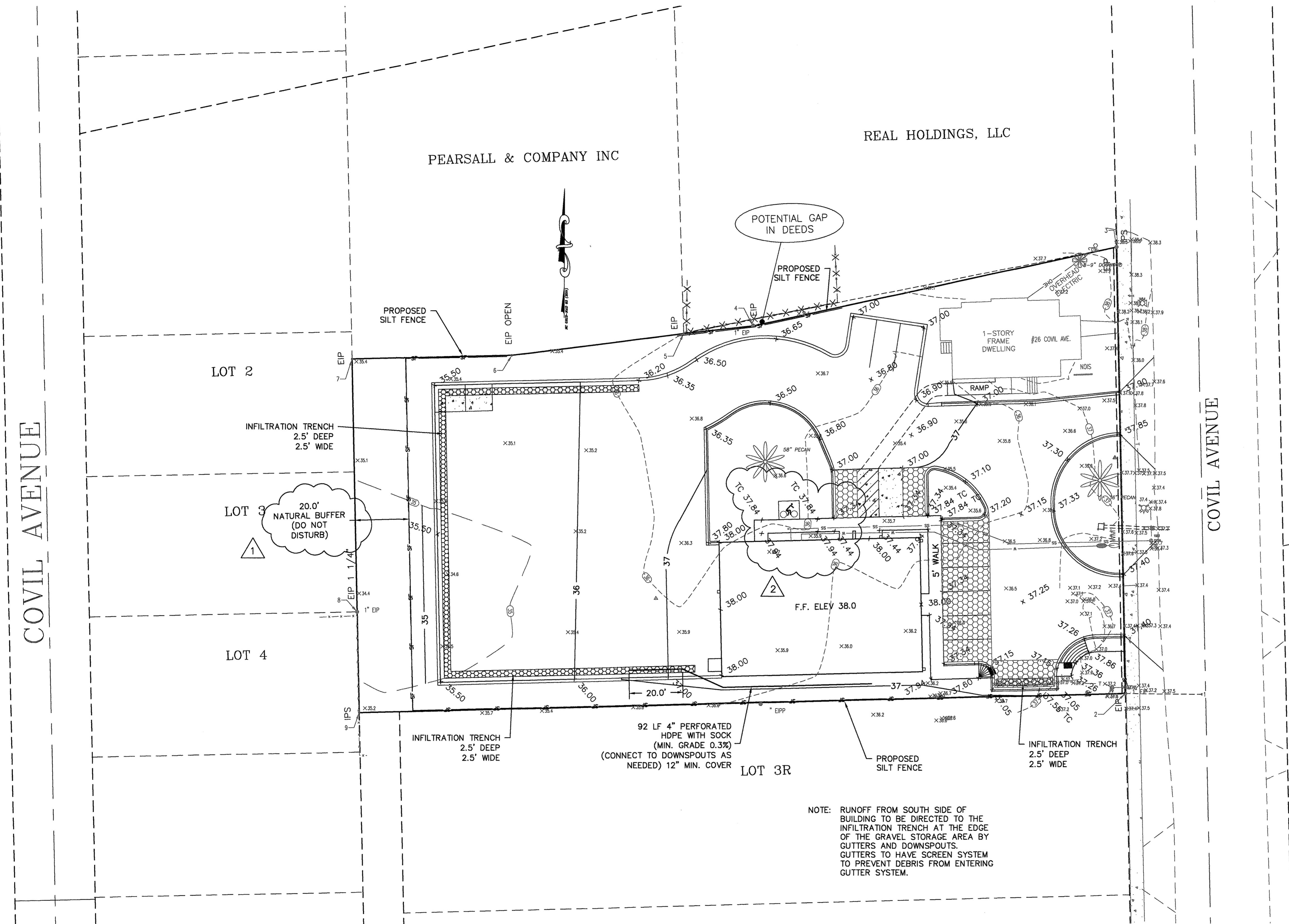
OCEAN BLUE POOLS & SPAS
NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405

PORT CITY CONSULTING
ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

SITE PLAN

Sheet No.
C-4



NOTES:

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CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING AND DIGGING, CLEARING, OR GRADING.

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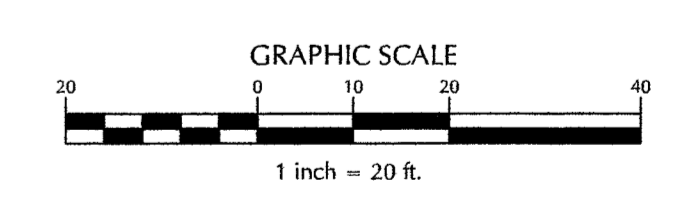
CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit: 2016005R1
Signed: *[Signature]*

Approved Construction Plan

Name	Date
Planning: <i>[Signature]</i>	1/27/17
Traffic: <i>[Signature]</i>	1/26/17
Fire: <i>[Signature]</i>	1/26/17

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No.	Revision	Date	By	Designer	Scale
1	REVISED PER CITY COMMENTS	12/2/15	MNH	MNH	AS SHOWN
2	REVISED PER NEW HANOVER COUNTY	2/9/16	MNH	MNH	OCTOBER, 2015
3	ADDING NEW DRIVEWAY & PARKING	10/26/16	MNH	MNH	

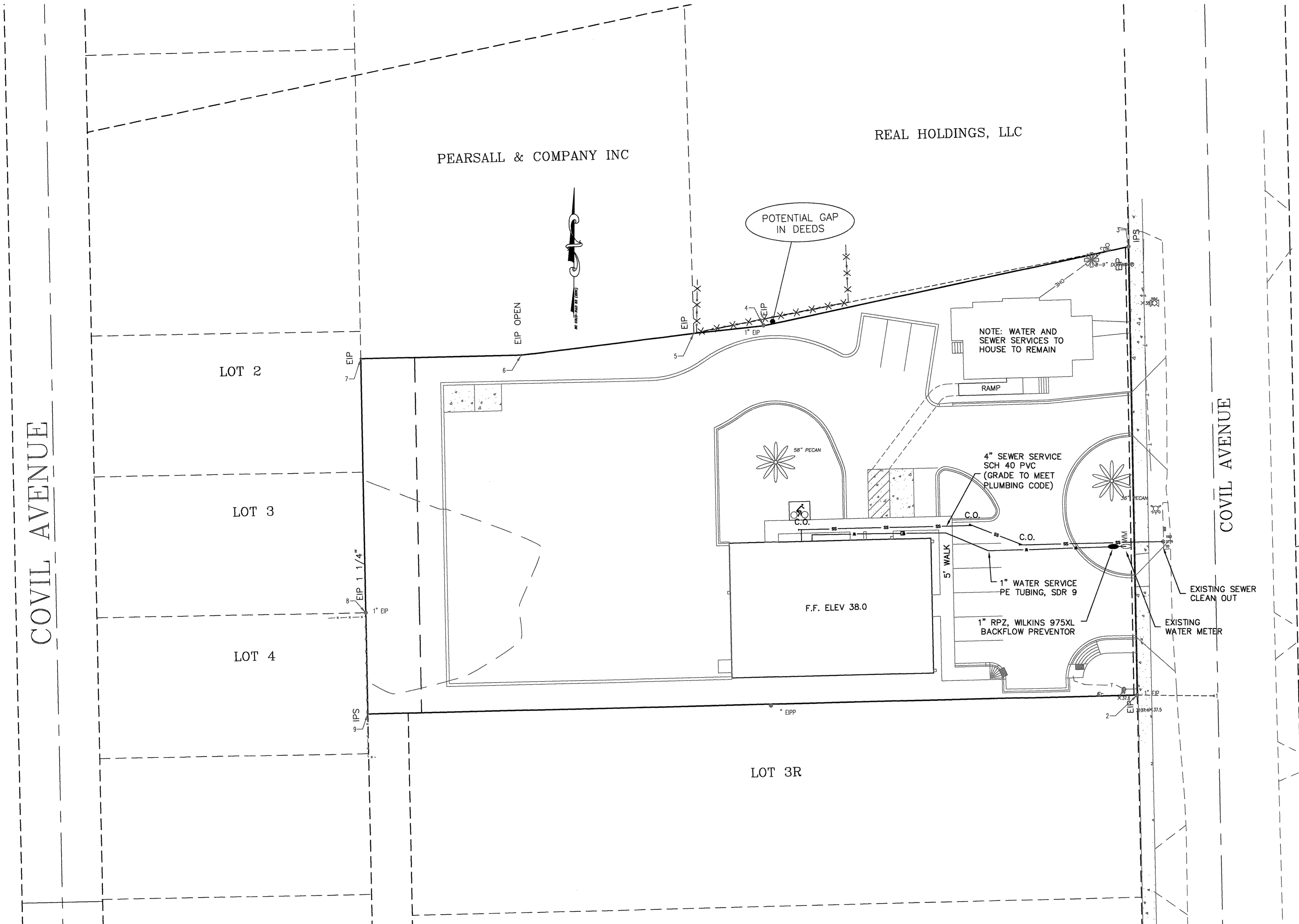
OCEAN BLUE POOLS & SPAS
NORTH CAROLINA
WILMINGTON

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405

PORT CITY CONSULTING
ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

GRADING & DRAINAGE PLAN

Sheet No.
C-5



NOTES:

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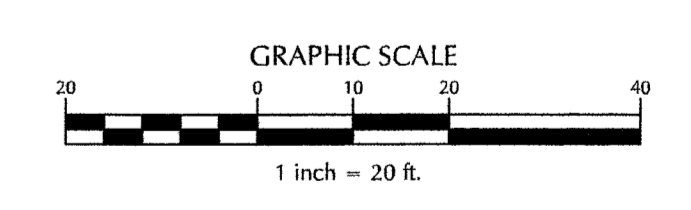
A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC DIVISION AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING THE FINAL PLAT.

CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17
Signed: [Signature]

Approved Construction Plan	
Name	Date
Planning: [Signature]	1/27/17
Traffic: [Signature]	1/26/17
Fire: [Signature]	1/26/17

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By

Designer	MNH	Scale	AS SHOWN
Drawn By	MNH	Date	OCTOBER, 2015
Checked By	MNH	Job No.	

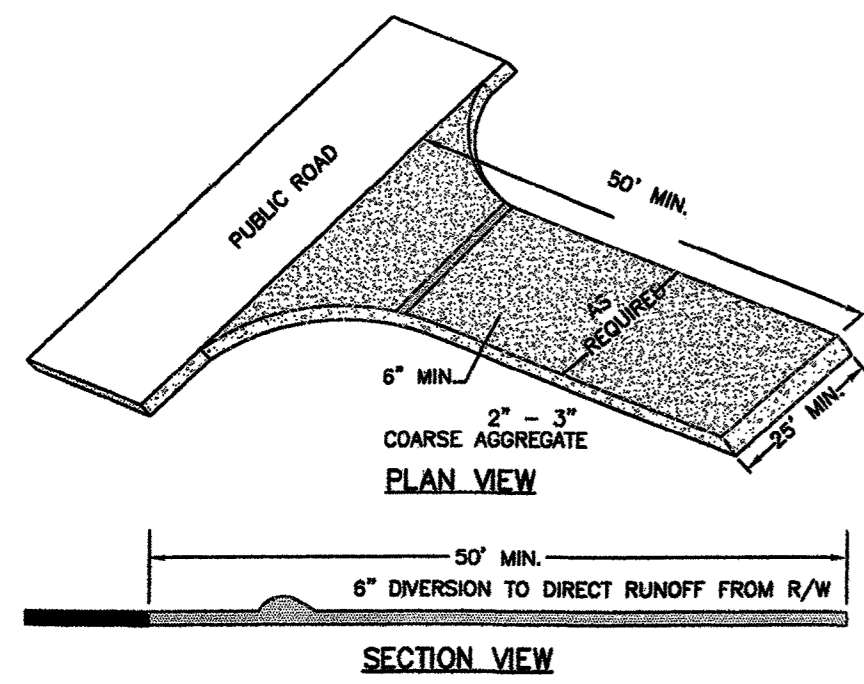
OCEAN BLUE POOLS & SPAS
WILMINGTON NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405

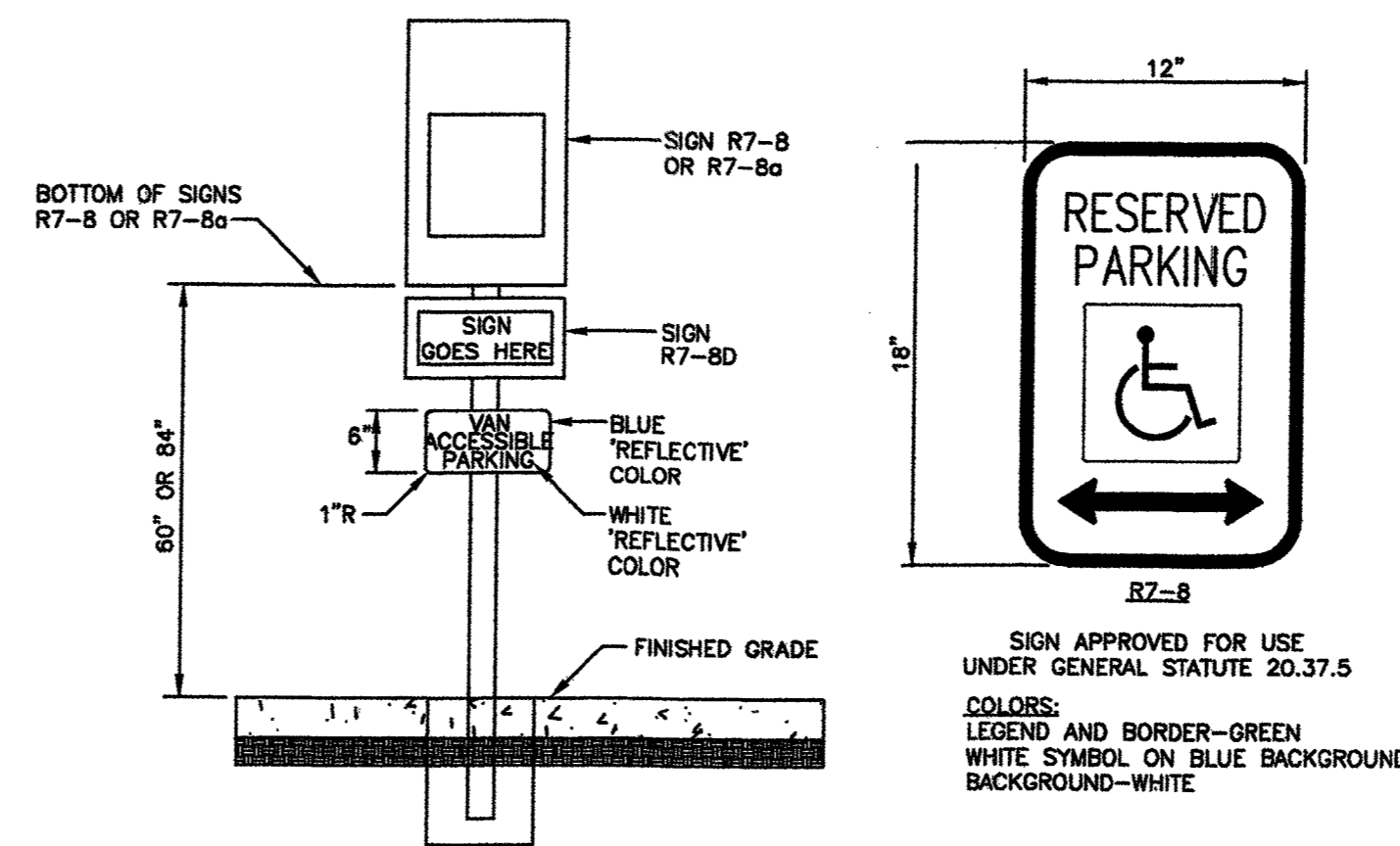
PORT CITY CONSULTING ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

UTILITY PLAN

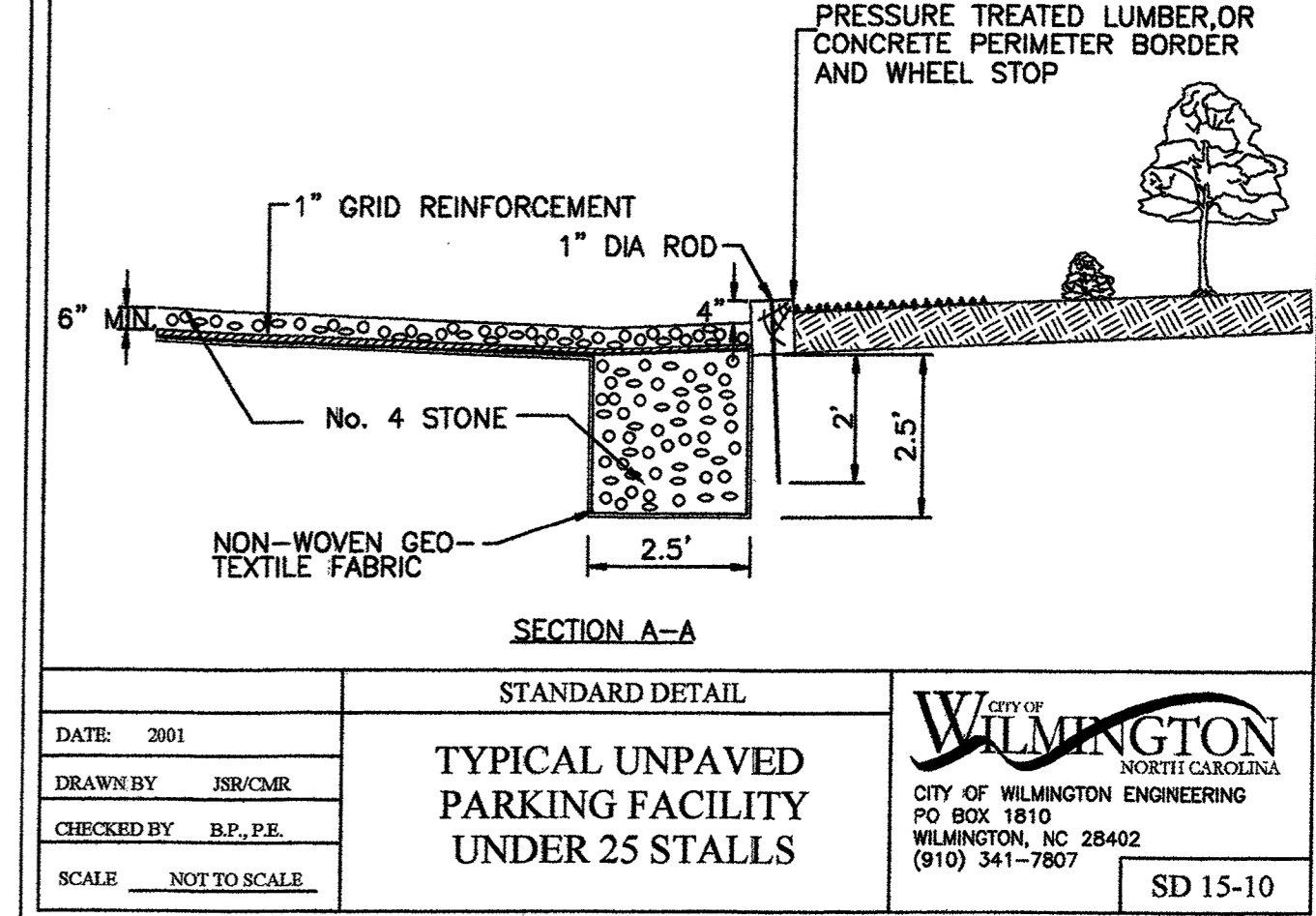
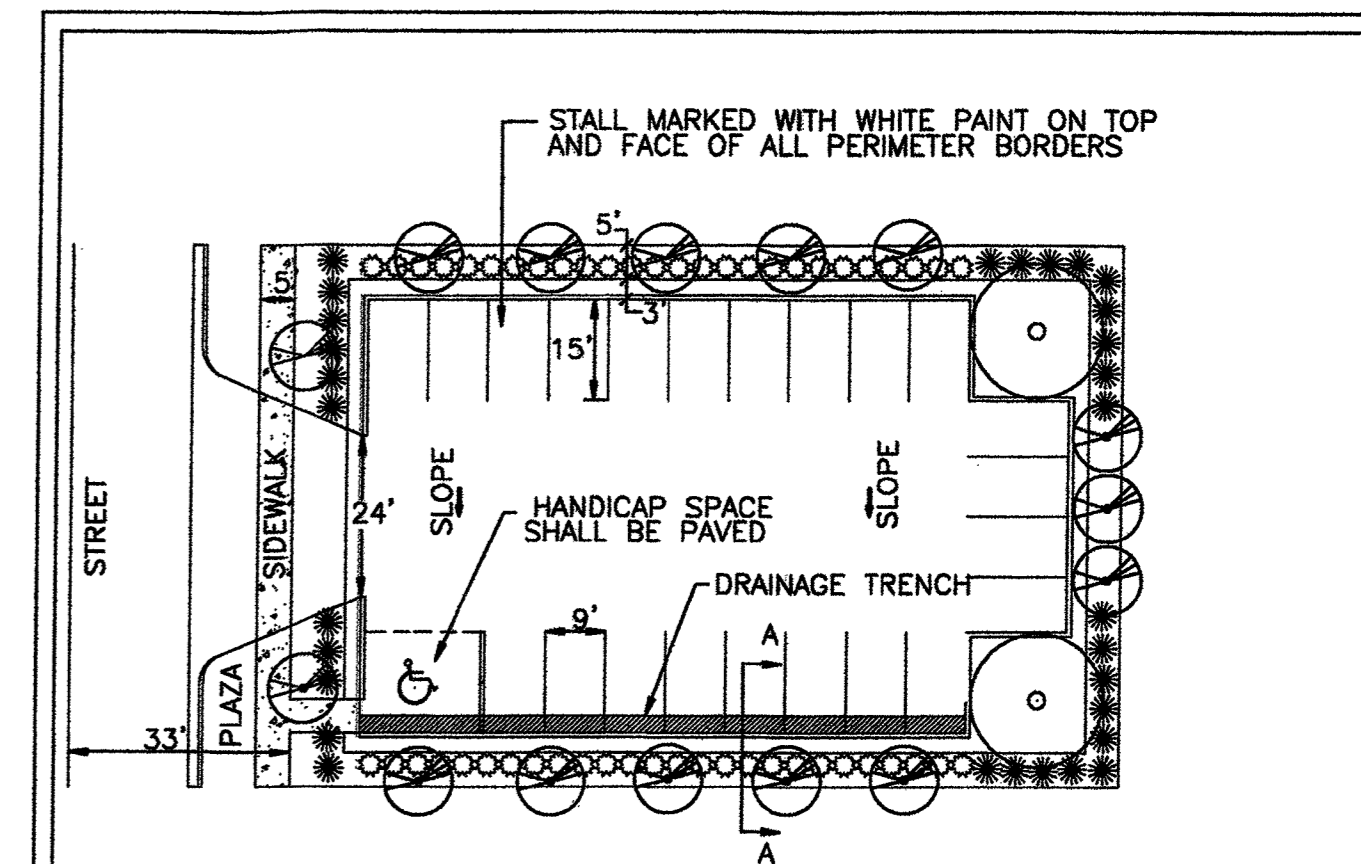
Sheet No. **C-6**



TEMPORARY CONSTRUCTION ENTRANCE
N.T.S.



HANDICAP PARKING SIGNAGE
N.T.S.

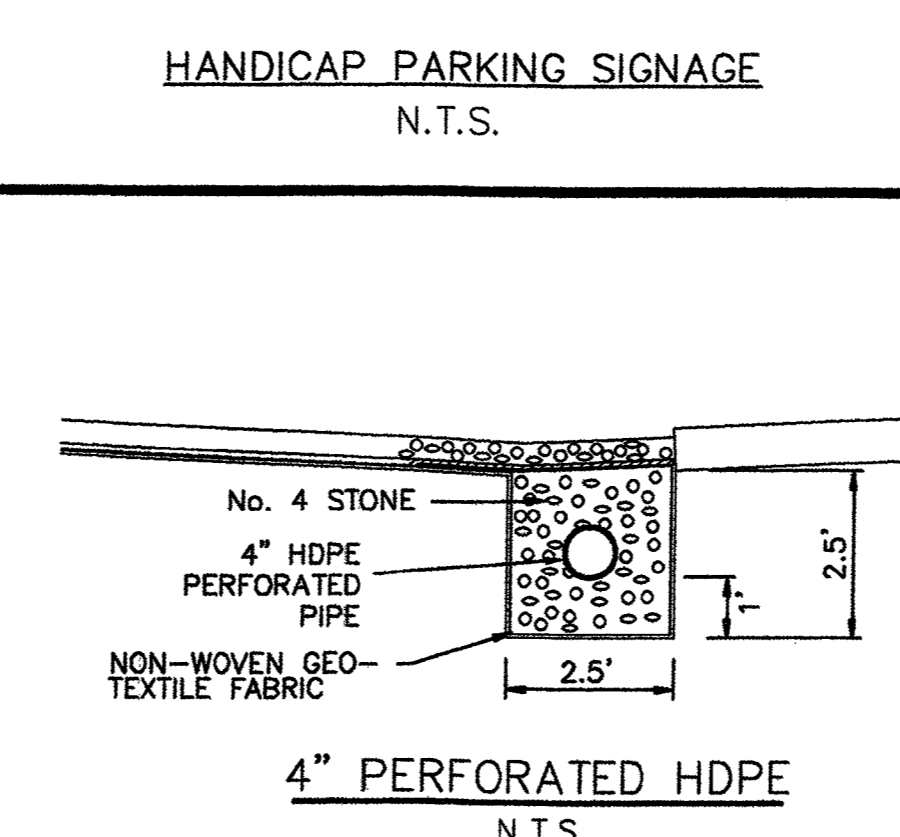


STANDARD DETAIL
TYPICAL UNPAIRED
PARKING FACILITY
UNDER 25 STALLS

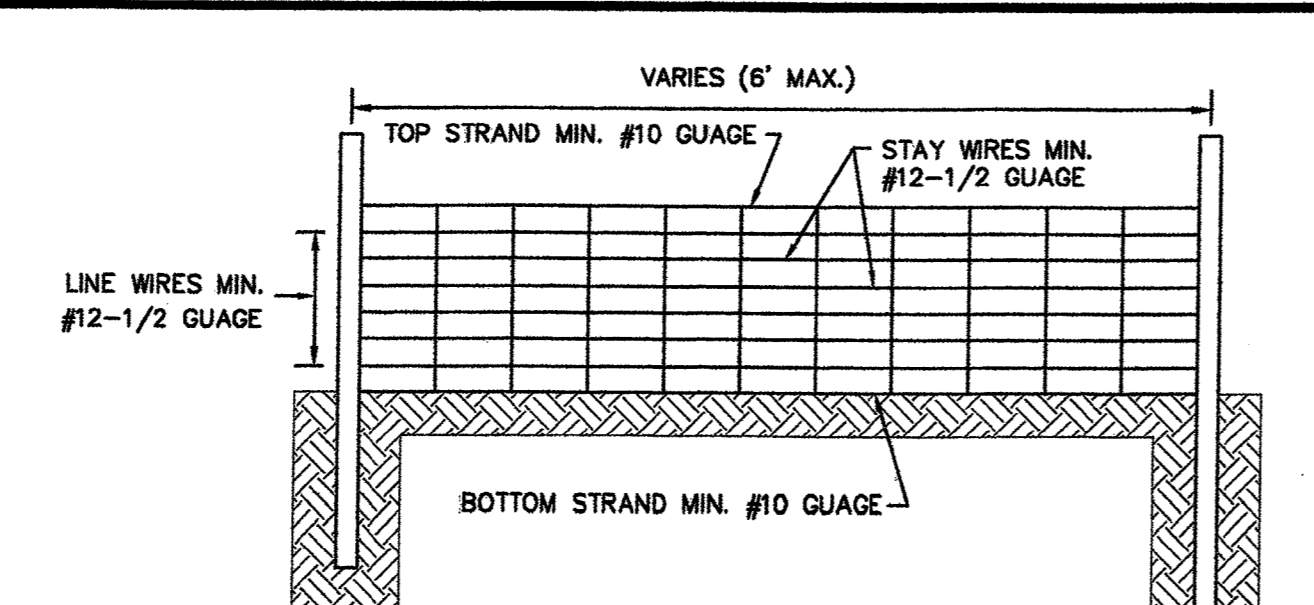
DATE: 2001
DRAWN BY: JSR/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

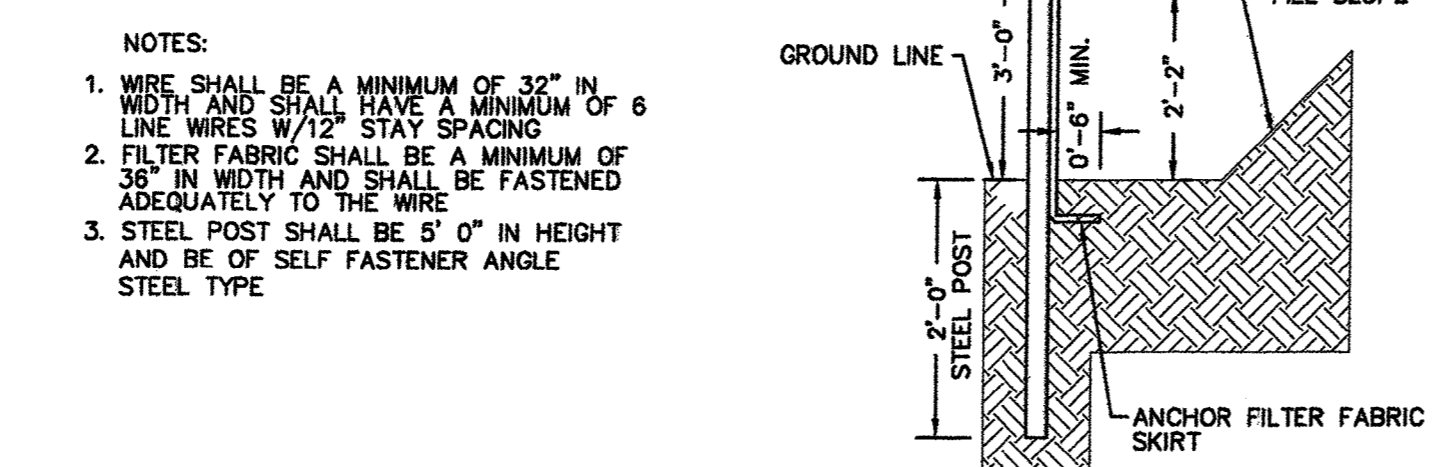
SD 15-10



4" PERFORATED HDPE
N.T.S.



SILT FENCE
N.T.S.



- NOTES:
1. WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES W/12" STAY SPACING
 2. FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE
 3. STEEL POST SHALL BE 5' 0" IN HEIGHT AND BE OF SELF FASTENER ANGLE STEEL TYPE

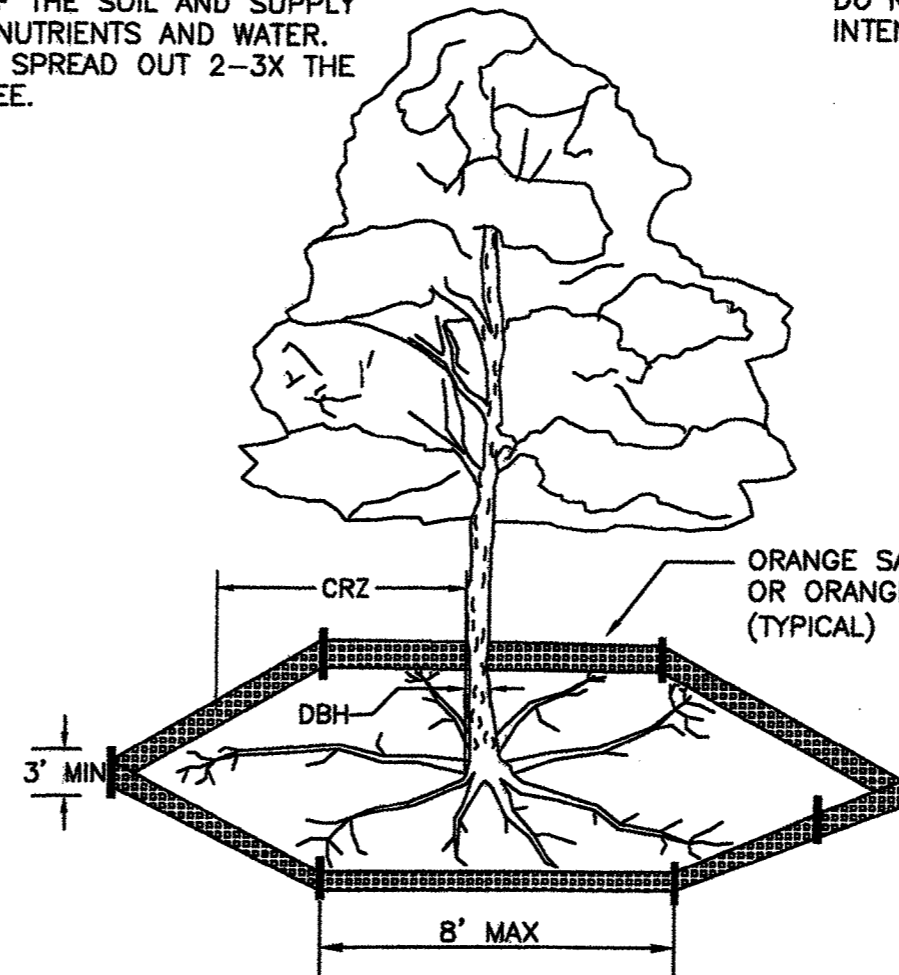
CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 1/27/17
Planning: [Signature] Traffic: [Signature] Fire: [Signature]

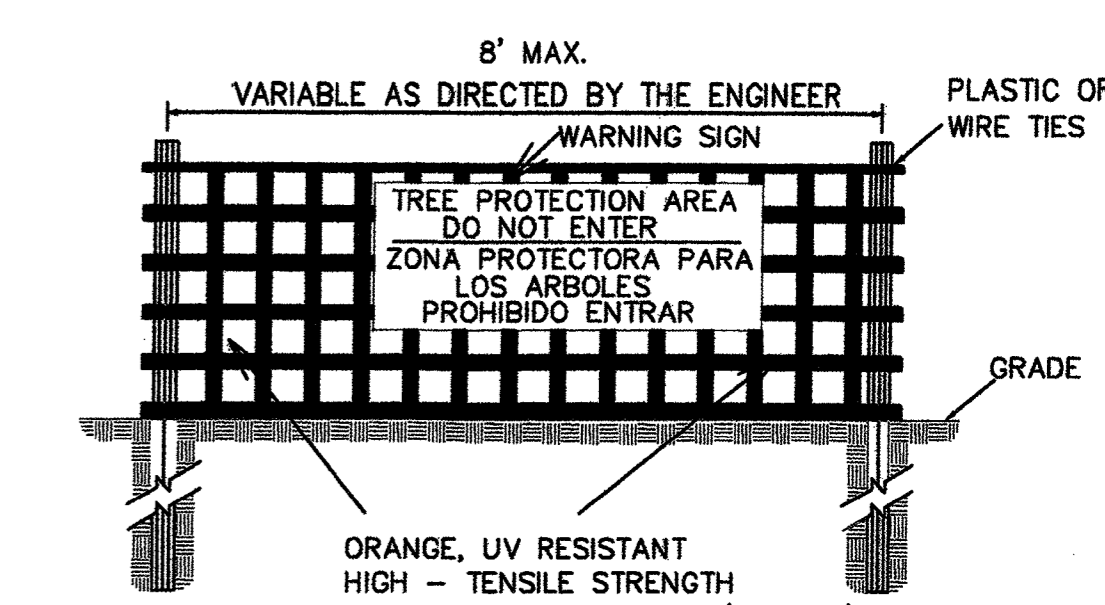
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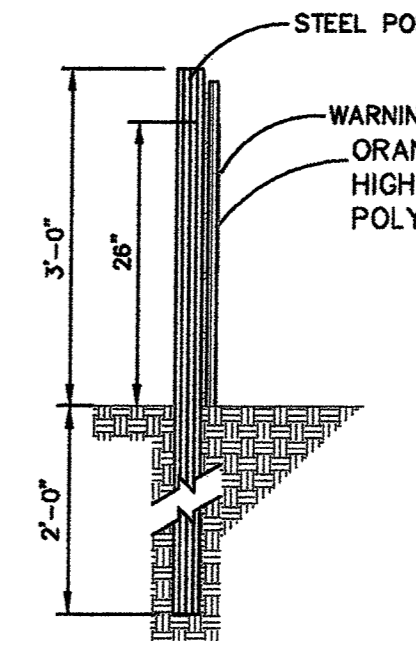
NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



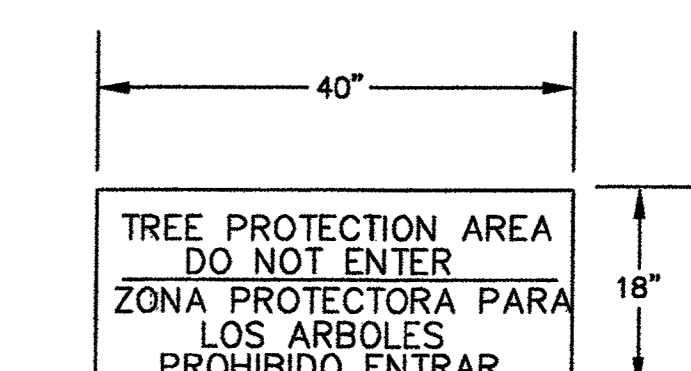
NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.



FRONT VIEW



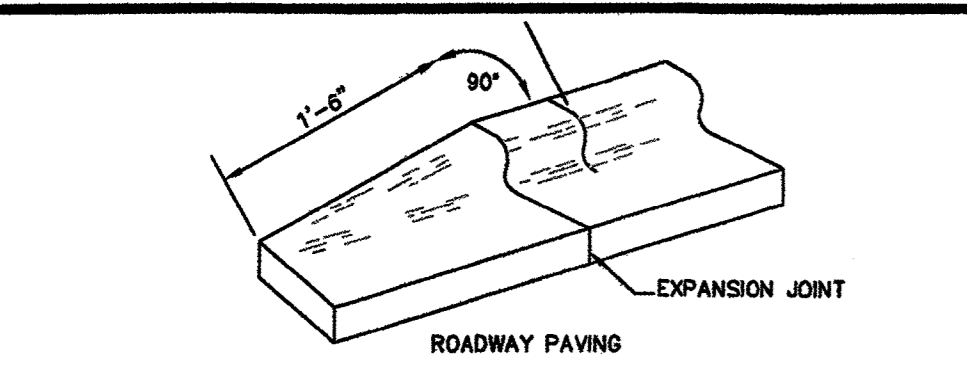
SIDE VIEW



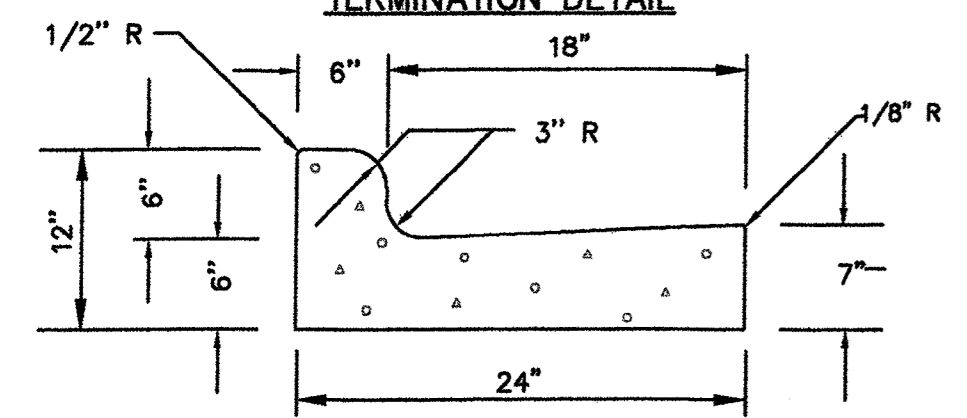
WARNING SIGN DETAIL

- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL - LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

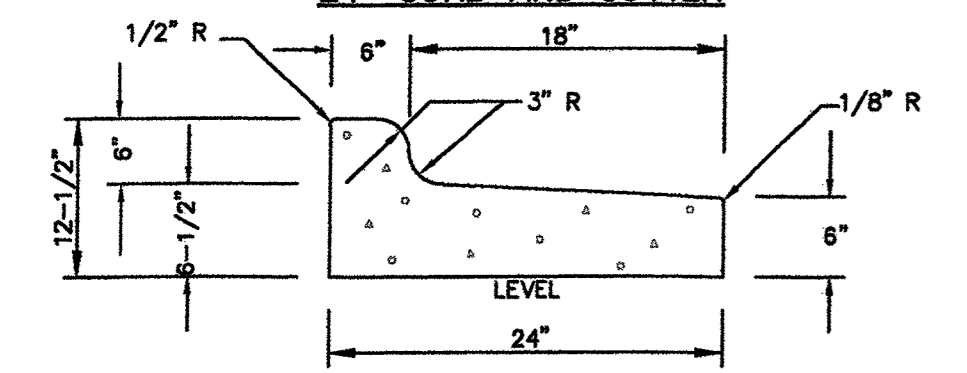
TREE PROTECTION DURING CONSTRUCTION
N.T.S.



24" CURB & GUTTER TERMINATION DETAIL



24" CURB AND GUTTER

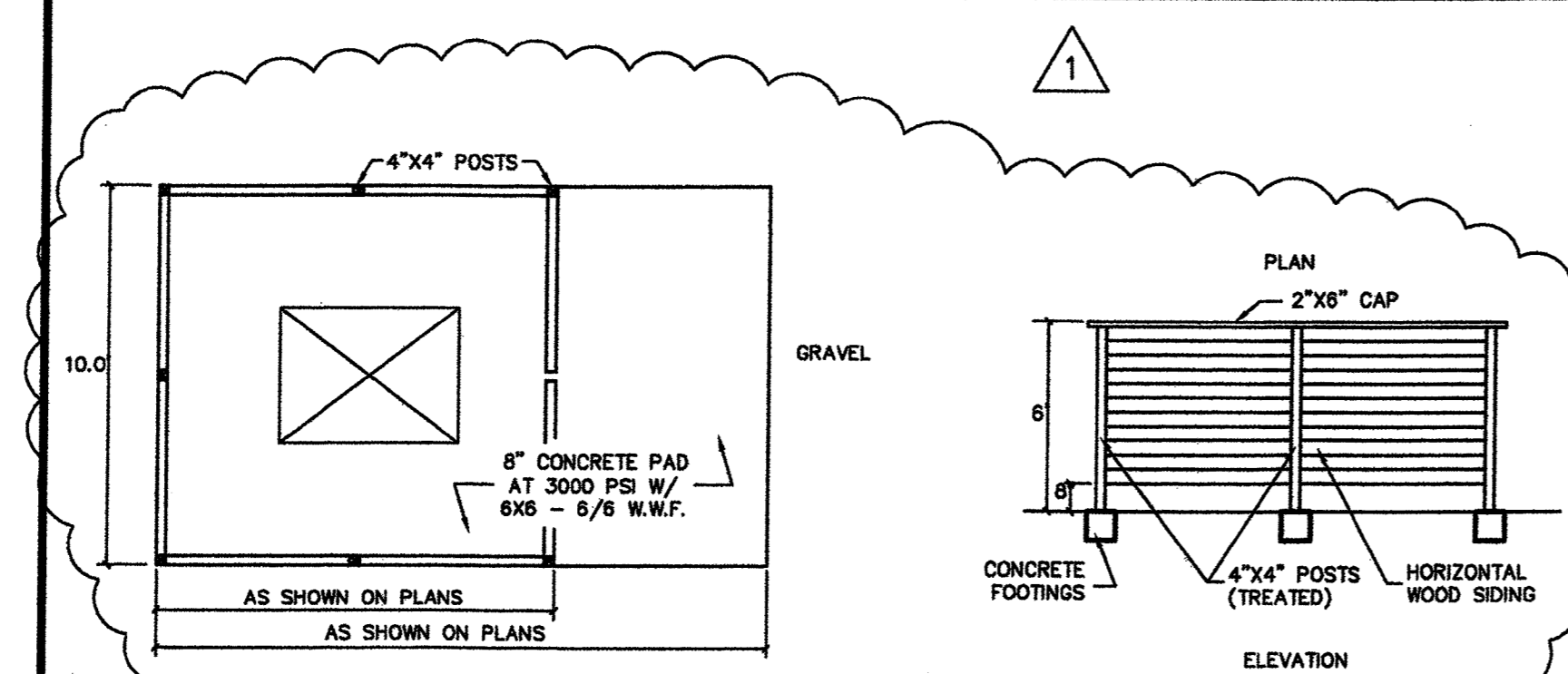


24" CURB AND GUTTER (REVERSE SLOPE)

(TO BE USED WHEN PAVEMENT IS SLOPED AWAY FROM ISLAND 1/4" : 1'-0" SLOPE OR AS SHOWN ON PLANS)

GENERAL NOTES:
CONSTRUCTION JOINTS SHALL BE SPACED AT MAX. 10' INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED. ALL CONTRACTION JOINTS EXCEPT IN 8" X 6" MEDIAN CURB SHALL BE FILLED WITH JOINT SEALER. EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

CURB AND GUTTER
NOT TO SCALE



DUMPSTER PAD & ENCLOSURE DETAIL
N.T.S.

No.	Revision	Date	By	Designer	Scale
1	REVISED PER CITY COMMENTS	12/2/15	MNH	MNH	AS SHOWN
2	REVISED PER CITY STORMWATER COMMENTS	1/19/16	MNH	MNH	OCTOBER, 2015

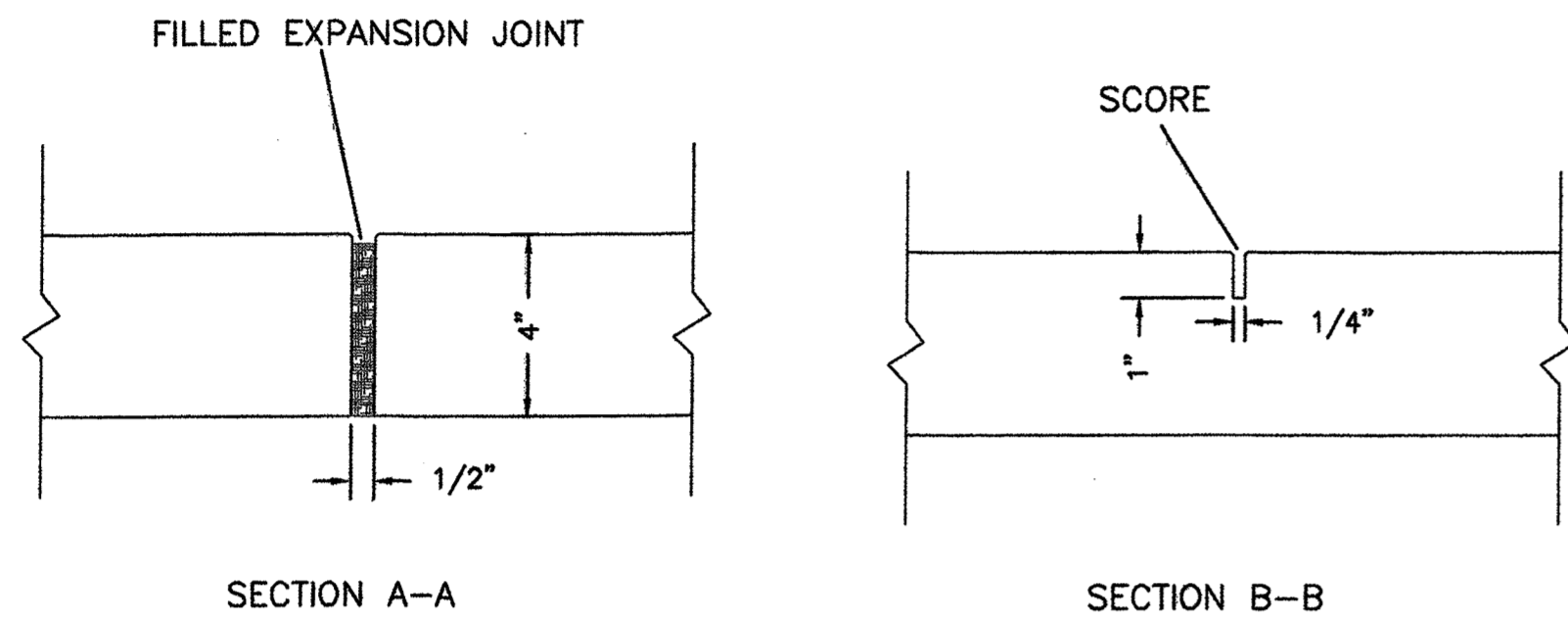
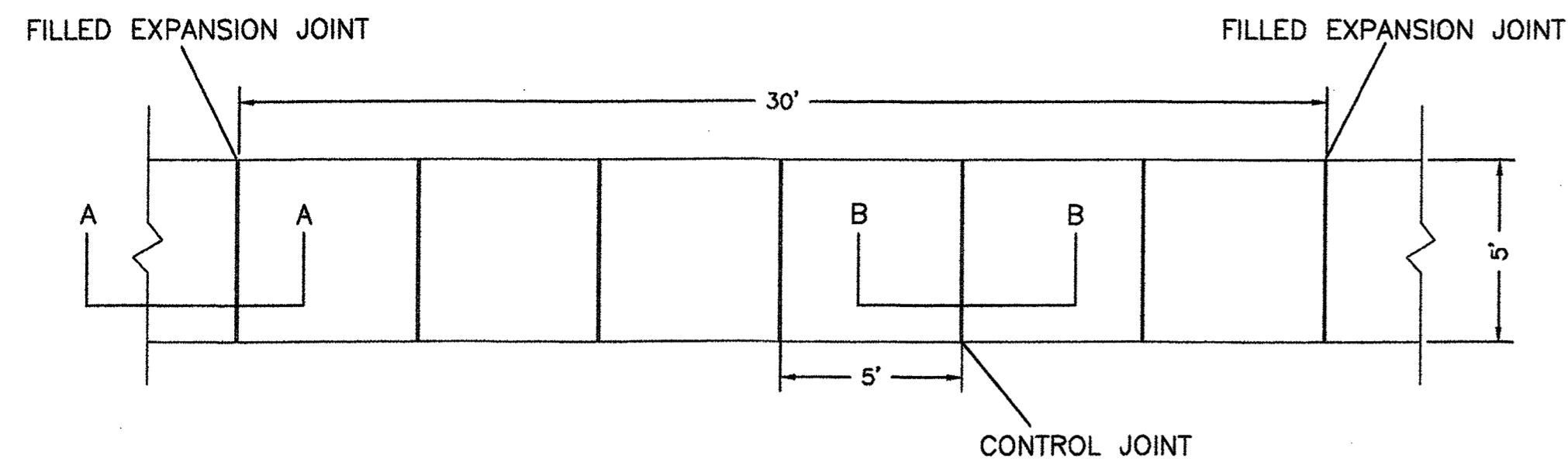
OCEAN BLUE POOLS & SPAS
NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
WILMINGTON, NC 28405

PORT CITY CONSULTING ENGINEERS, PLLC
6216 STONEBRIDGE ROAD
WILMINGTON, NC 28409
910-599-1744 LICENSE No. P-1032

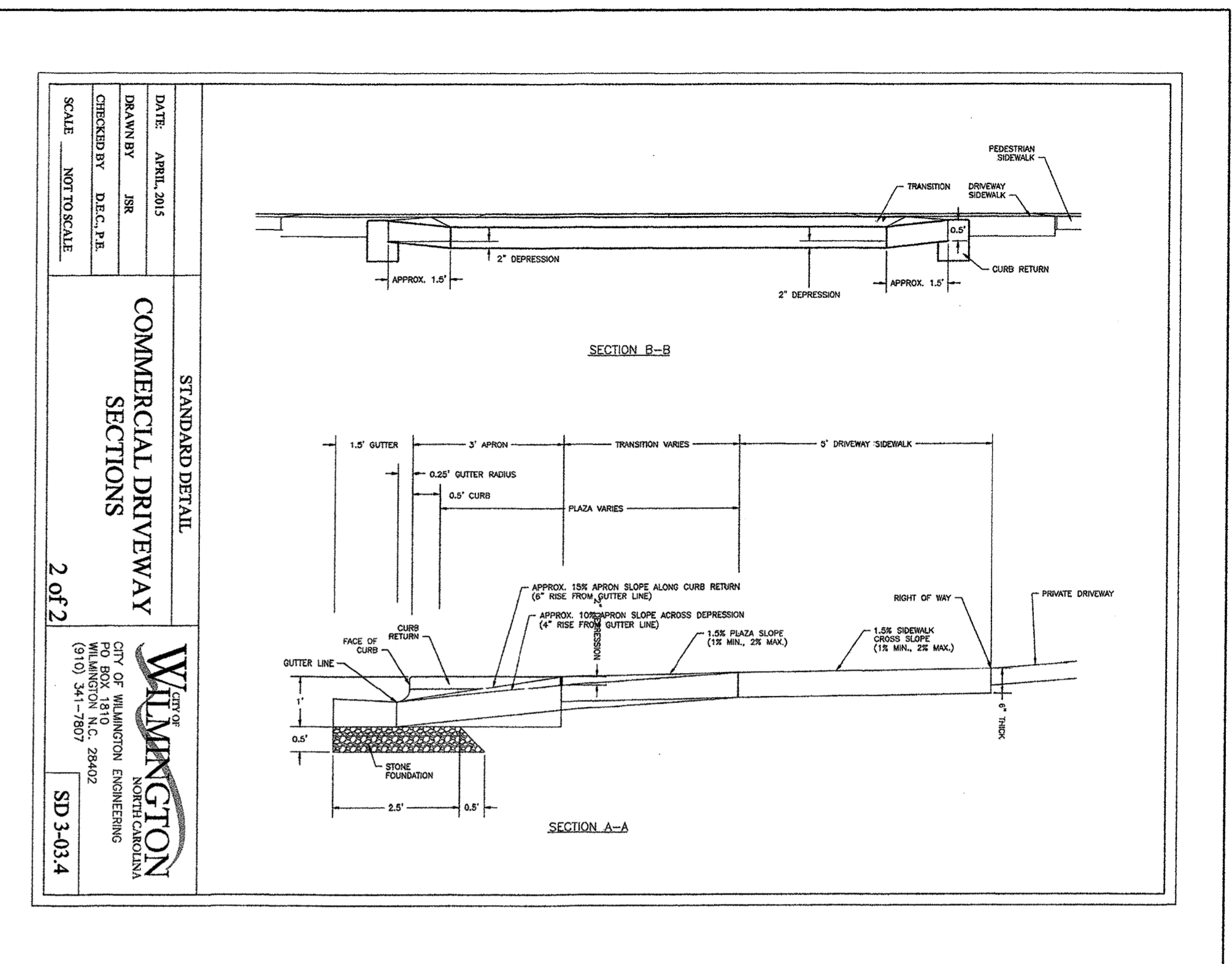
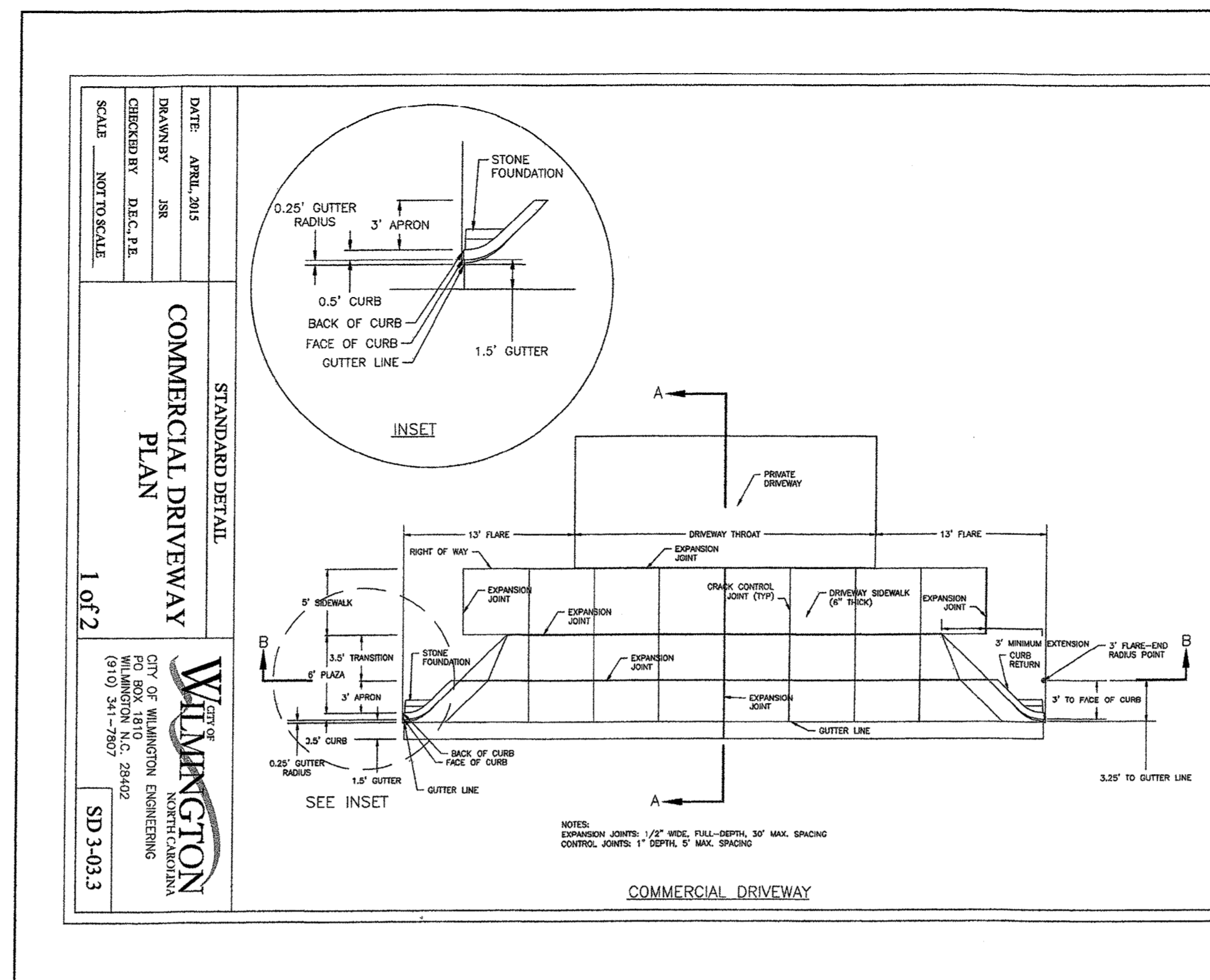
MISCELLANEOUS DETAILS

Sheet No.
C-7.0



- NOTES:**
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

SIDEWALK DETAIL
N.T.S.



CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: 1/26/17 Permit # 2016005 R1
Signed: *[Signature]*

Approved Construction Plan

Planning	<i>[Signature]</i>	Date	1/27/17
Traffic	<i>[Signature]</i>	Date	1/26/17
Fire	<i>[Signature]</i>	Date	1/26/17

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

No.	Revision	Date	By

Designer	MNH	Scale	AS SHOWN
Drawn By	MNH	Date	OCTOBER, 2015
Checked By	MNH	Job No.	

OCEAN BLUE POOLS & SPAS
WILMINGTON NORTH CAROLINA

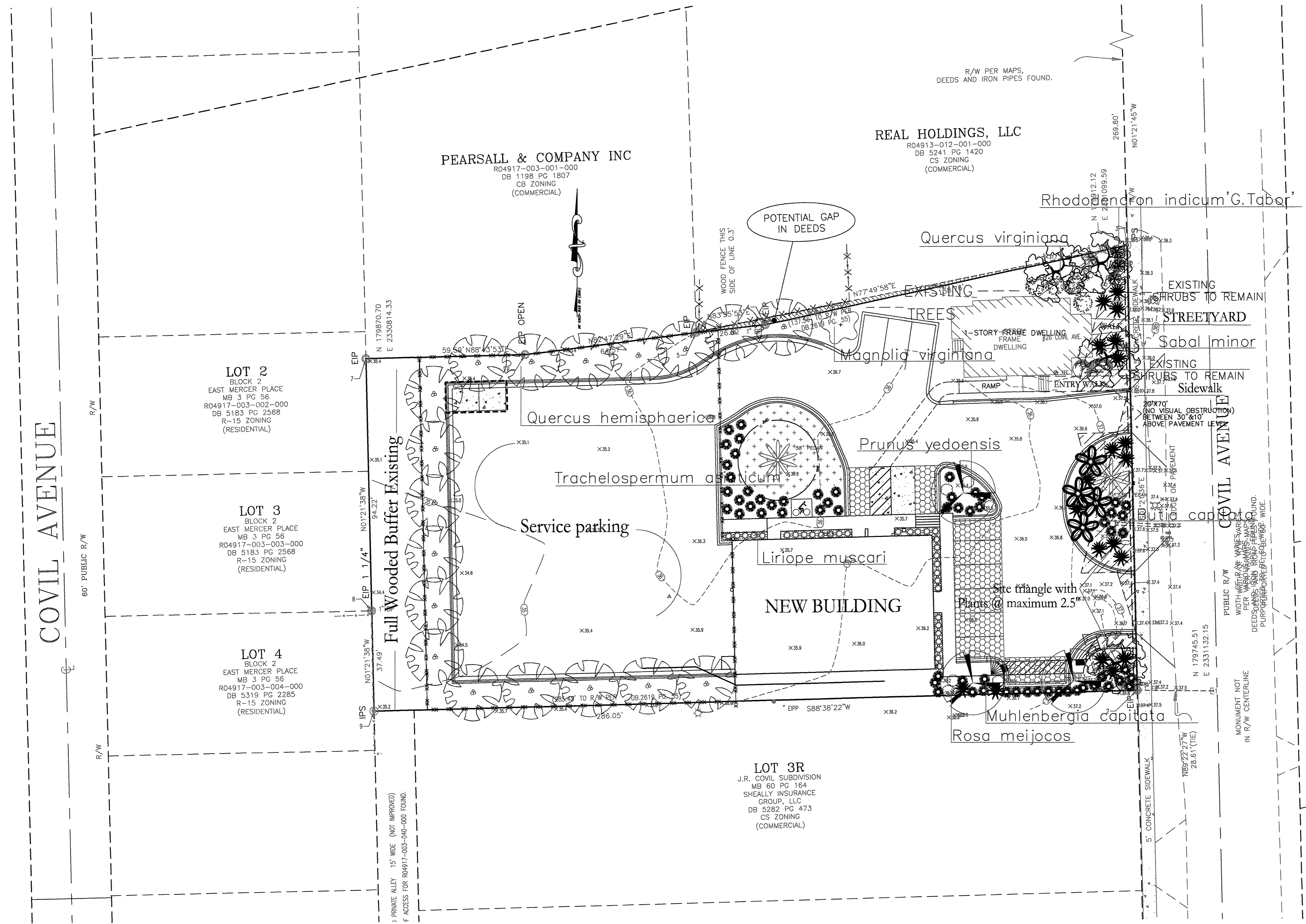
OCEAN BLUE POOLS & SPAS
30 COVIL AVENUE
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MISCELLANEOUS DETAILS

Sheet No.
C-7.1

OCEAN BLUE POOLS — COVIL AVENUE

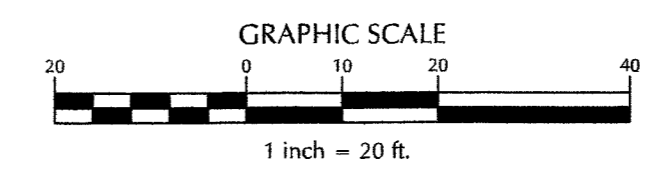


LAND — DESIGN SOUTH
 DONNA CLEMMONS
 LANDSCAPE ARCHITECT
 ASLA ASSOCIATE
 105 B CORAL DRIVE
 WRIGHTSVILLE BEACH, N.C.
 28480
 910 550 8788

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan		
Name	Date	
Planning	1/27/17	
Traffic	1/26/17	
Fire	1/24/17	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
APPROVED DRAINAGE PLAN
 Date: 1/26/17 Permit # 2016005 R1
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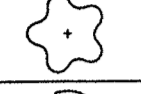



No.	Revision	Date	By	Designer	Scale	OCEAN BLUE POOLS & SPAS NORTH CAROLINA	OCEAN BLUE POOLS & SPAS 30 COVIL AVENUE WILMINGTON, NC 28405	PORT CITY CONSULTING ENGINEERS, PLLC 6216 STONEBRIDGE ROAD WILMINGTON, NC 28409 910-599-1744 LICENSE No. P-1032	LANDSCAPE PLAN	Sheet No. C-8
	12/06/2016		DDC	MNH	AS SHOWN					
				MNH	OCTOBER, 2015					
				MNH	Job No.					

OCEAN BLUE POOLS — COVIL AVENUE

Plant Table





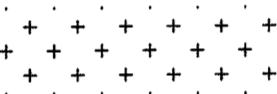
Broadleaf Deciduous

Quantity	Symbol	Scientific Name	Common Name	Planting Size
10		Magnolia virginiana	Sweet bay magnolia	2"cal
3		Prunus yedoensis	Yoshino Cherry	2'cal

Broadleaf Evergreen

Quantity	Symbol	Scientific Name	Common Name	Planting Size
18		Quercus hemisphaerica	Laurel oak	2"cal
4		Quercus virginiana	Southern live oak	2"cal
3		Rhododendron indicum 'G.Tabor'	George Tabor azalea	3 gal
8		Rosa miejocos 'Drift Rose'	Red Drift rose	3 gal

Palms, Grasses, Groundcovers

Quantity	Symbol	Scientific Name	Common Name	Planting Size
19		Sabal minor	Dwarf palmetto	3 gal
58		Muhlenbergia capitata	Purple Muhly grass	1 gal
32		Liriope muscari	Big blue lily turf	1 gal
4		Buttia capitata	Jelly palm	6-8' b&b
70		Trachelospermum asiaticum	Asian jasmine	1 gal

LANDSCAPE NOTES:

LANDSCAPE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND COORDINATE WITH ALL OTHER TRADES ON SITE.

ALL PLANTS SHALL CONFORM TO OR EXCEED THE STANDARDS FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

LOCATE FOUR CORNERS OF THE PROPERTY LINES TO ENSURE PLANTS ARE NOT PLANTED IN EASEMENTS OR COMMON AREAS. EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION. PLANTING SOIL SHALL BE LOOSE, FRIABLE AND FREE OF DEBRIS.

SITE DATA:

S.F.OF BACK PARKING AREA=10,912
 S.F.OF PARKING AREA FROM STREET TO FENCELINE=7003
 S.F.OF TOTAL PARKING AREA=16,188
 SHADE CALCULATION 20% OF PARKING AREA RE'QD=3237.6
 18 LAUREL OAKS X 350=6300 PROVIDED
 1 PECAN EXISTING X 707= 707 PROVIDED
 3 YOSHINO CHERRY X 707=2121 PROVIDED
 TOTAL SHADE PROVIDED=9128

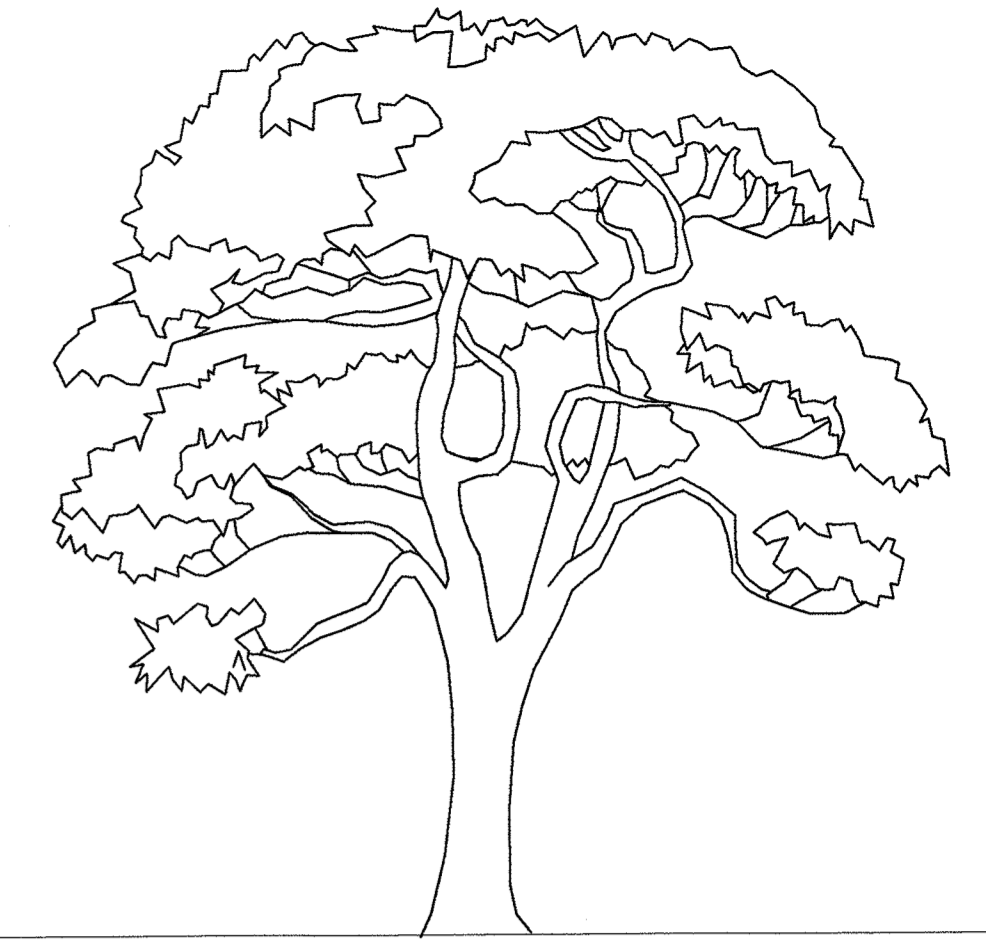
TREE MITIGATION

35"PECAN REMOVED AND MITIGATED
 75% MITIGATION CATEGORY RE'QD
 35"X2=70/3=23.3X.75=17.5=18 TREES PROVIDED
 43" DISEASED PECAN REMOVED/NO MITIGATION RE'QD

STREETYARD RE'QD

165 LINEAR FT.-23 +14=128 [128 x 25 =3200 sf]
 3200sf STREETYARD PROVIDED
 3200sf/600 =5.3 TREES RE'QD
 6 TREES PROVIDED

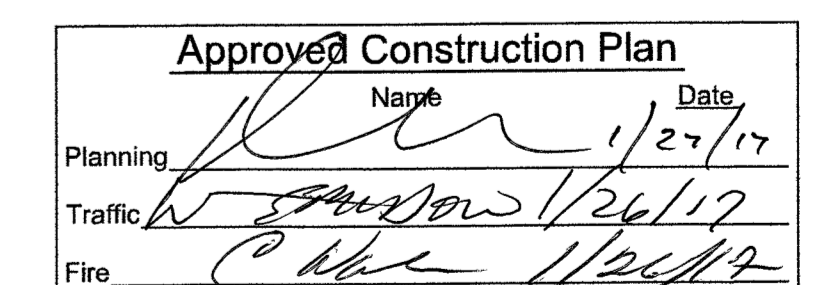
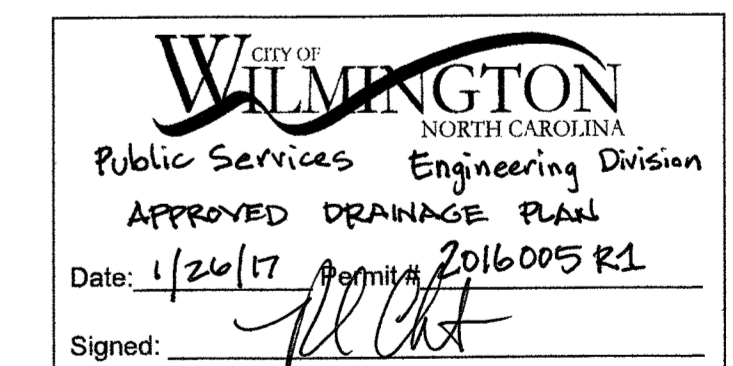
3200/600X6=31.99 SHRUBS RE'QD
 37 SHRUBS PROVIDED



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 DONNA CLEMMONS

LANDSCAPE ARCHITECT
 ASLA ASSOCIATE
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 910 550 8788

DATE : 11/19/2015
 REVISED: 12/6/2016:
 REVISED: 01/9/2017:
 DRAWN BY: DDC



No.	Revision	Date	By

Designer	MNH	Scale	AS SHOWN
Drawn By	MNH	Date	OCTOBER, 2015
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OCEAN BLUE POOLS & SPAS
 WILMINGTON
 NORTH CAROLINA

OCEAN BLUE POOLS & SPAS
 30 COVIL AVENUE
 WILMINGTON, NC 28405

LANDSCAPE PLAN

Sheet No.
C-9